



SCHOOL LANE, NEWBOLD COLEORTON, COALVILLE

OFFERS OVER £ 600,000



Rezide Estate Agents is delighted to present this impressive five-bedroom detached family home on the highly sought-after School Lane, offering uninterrupted countryside views to the rear and an exceptional amount of living space. Boasting a generously sized driveway, a large kitchen-diner, a spacious lounge with beautiful garden views, and a substantial dining room with a charming bay window, this home has been thoughtfully extended and immaculately maintained throughout. Additional features include a welcoming entrance hall, a downstairs WC, a family bathroom, an ensuite shower room, a double garage, and a beautifully landscaped rear garden.



As you approach the property, you're immediately greeted by a large gravelled driveway framed by mature flower beds and established shrubs, setting an elegant tone for the home. The property has undergone significant side and rear extensions to create a uniquely spacious and versatile layout. Upon entering, you're welcomed into a pleasant entrance hall with stylish laminate flooring and an arched doorway leading to the heart of the home. To your left is a convenient downstairs WC, while to the right you'll find the formal dining room—featuring plush carpets, a beautiful stone fireplace, a bay window, and additional windows that flood the space with natural light.

Moving through the hallway, you enter the generous kitchen-diner, a true centrepiece of the home. The space is finished with neutral tiled flooring, contemporary grey cabinetry,







white worktops, integrated electric ovens and hob, LED lighting, and direct access to the rear garden—ideal for indoor-outdoor living. Adjacent to the kitchen is the spacious lounge, a serene retreat with lush carpets, expansive windows overlooking the rear garden, and French doors opening onto the patio—perfect for entertaining or relaxing all year round.

Upstairs, the property offers five bedrooms, including four generously proportioned doubles and a single room ideal for an office or nursery. The master bedroom enjoys stunning rear-facing countryside views and features built-in wardrobes along with a private ensuite comprising a shower cubicle, WC, and







wash basin. The family bathroom is equally impressive, offering a four-piece suite that includes a glass shower cubicle, bathtub, vanity unit with basin, WC, full-height tiled shower walls, vinyl flooring, LED lighting, and a privacy glass window.

Externally, the rear garden is a beautifully manicured haven. Multiple seating areas, a lush lawn, mature shrubs and trees, and a tranquil pond with a cascading waterfall feature all create an idyllic outdoor escape. Picturesque views of Charnwood Forest, Bardon Hill and uninterrupted countryside make this garden a truly magical place. To the side of the property, a gated access





point leads to the front and also provides access to the double garage, which is equipped with power and lighting—perfect for storage or workshop use.

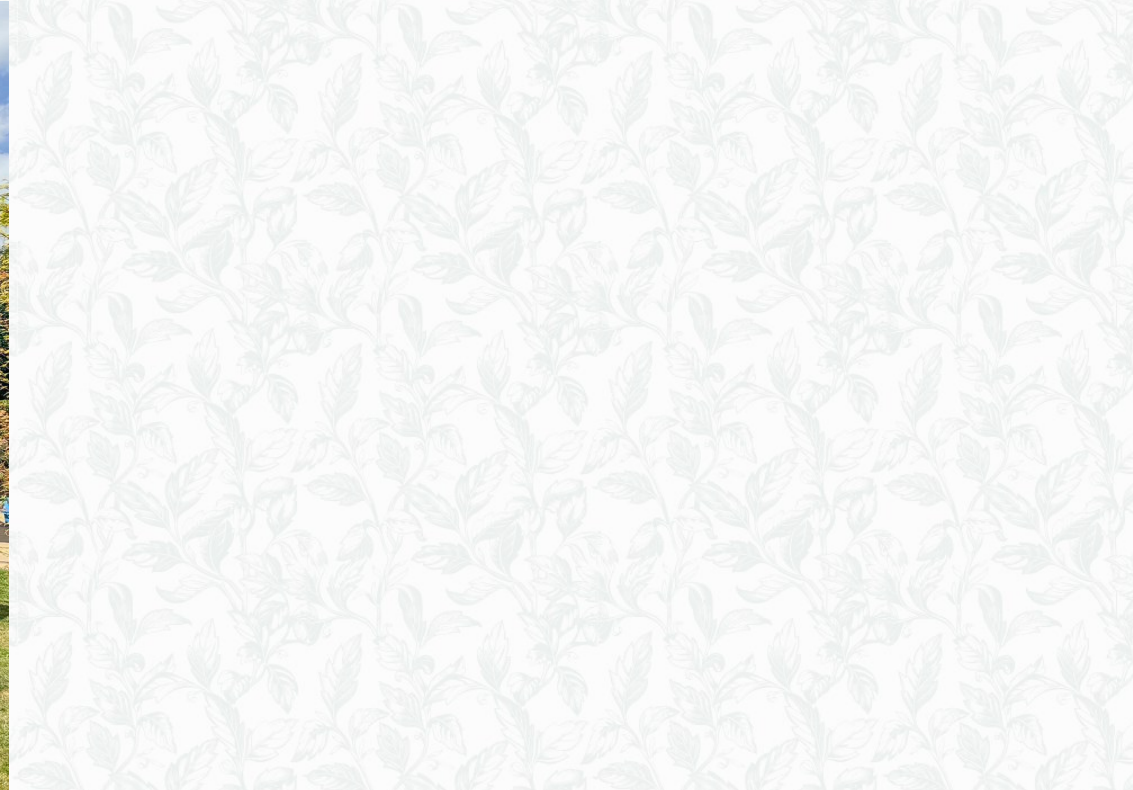
Newbold Coleorton is a charming village nestled in the picturesque countryside of North West Leicestershire. It offers the perfect blend of rural tranquility and convenient access to nearby towns such as Ashby-de-la-Zouch, Coalville, and Loughborough. The area is known for its strong sense of community, excellent local schools, and scenic walking trails—including a five minute walk to the New Lount Nature Reserve and access to the National Forest. With nearby road links to the A511, A42, and M1, commuting is simple while retaining the peaceful village lifestyle. For those seeking a balance of modern living and countryside serenity, Newbold Coleorton is an ideal place to call home.















School Lane, Newbold Coleorton, Coalville



KEY FEATURES:

- STUNNING FIVE BEDROOM FAMILY HOME
- INCREDIBLE VIEWS OF SCENIC COUNTRYSIDE
- FORMAL DINING ROOM AND SPACIOUS LOUNGE
- SPACIOUS KITCHEN DINER
- DOWNSTAIRS WC AND UTILITY ROOM
- LARGE PLOT WITH BEAUTIFUL GARDEN
- FAMILY BATHROOM AND EN-SUITE
- DOUBLE GARAGE AND OFF ROAD PARKING
- EXCELLENT LOCATION
- EPC - D



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 Charnwood's Trusted Agents



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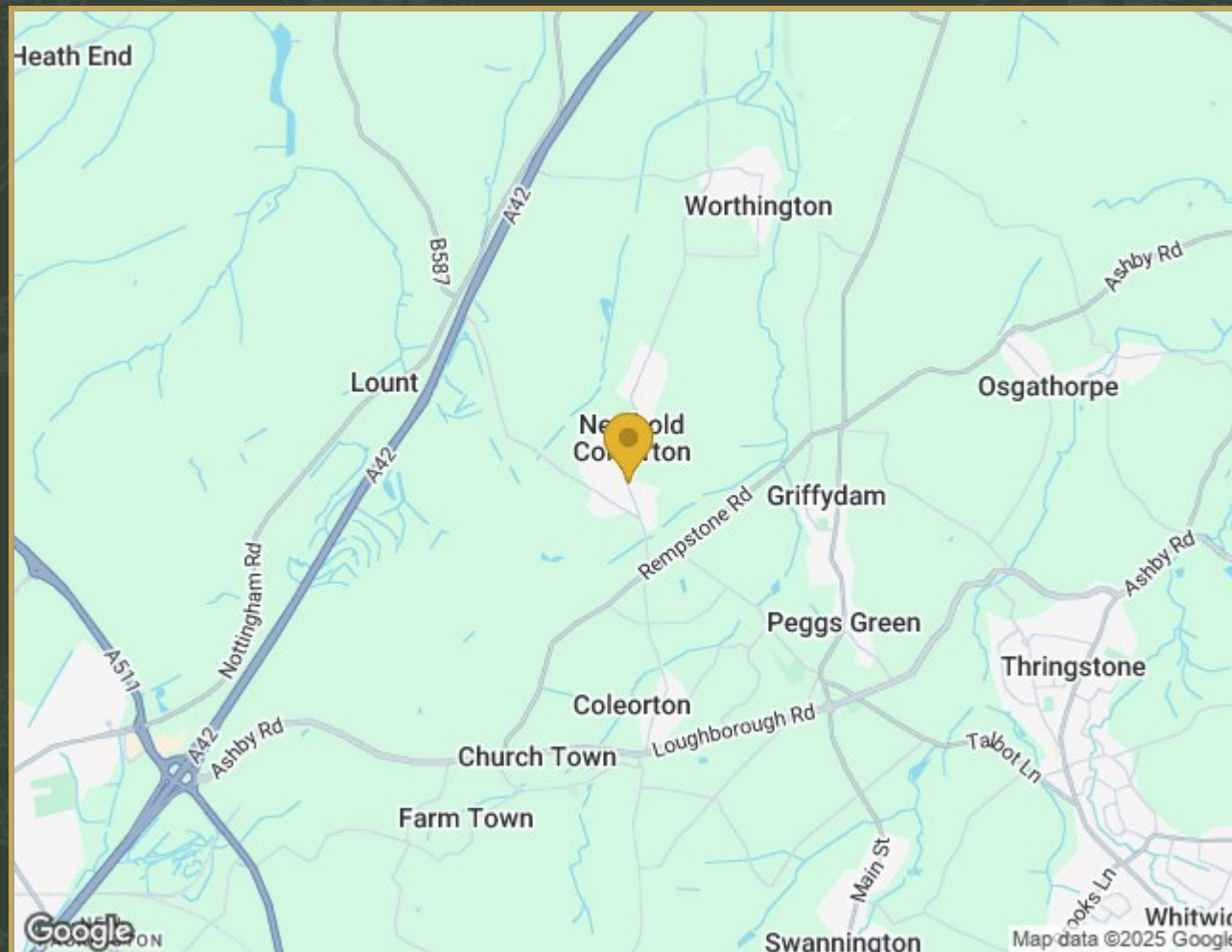
1700.00 sq ft

Energy Efficiency Rating		Environmental Impact (CO ₂) Rating	
	Current	Potential	
Very energy efficient - lower running costs			
(92 plus) A			(92 plus) A
(81-91) B			(81-91) B
(69-80) C			(69-80) C
(55-68) D			(55-68) D
(39-54) E			(39-54) E
(21-38) F			(21-38) F
(1-20) G			(1-20) G
Not energy efficient - higher running costs			
EU Directive 2002/91/EC		EU Directive 2002/91/EC	
England & Wales		England & Wales	

	Current	Potential
Very environmentally friendly - lower CO ₂ emissions		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not environmentally friendly - higher CO ₂ emissions		
EU Directive 2002/91/EC		EU Directive 2002/91/EC
England & Wales		England & Wales



Property Location



21 School Lane, Newbold Coleorton, Coalville, LE67 8PF

